

AUBURN INDUSTRIAL DEVELOPMENT AUTHORITY APPLICATION FOR FINANCIAL ASSISTANCE

Form Adopted: July 20, 2016

IMPORTANT NOTICE: The answers to the questions contained in this Application are necessary to determine the Applicant's eligibility for financing, tax exemptions and other assistance from the Auburn Industrial Development Authority (the "Authority"). These answers will also be used in the financial preparation of legal documents for this transaction. Accordingly, all questions should be answered accurately and completely by an officer or other employee of this Applicant who is thoroughly familiar with the business and affairs of your firm and who is also thoroughly familiar with the proposed project. This application is subject to acceptance by the Authority.

Instructions

1. The Authority will not approve any application unless, in the judgment of the Authority, this Application contains sufficient information upon which to base a decision whether to approve or tentatively approve the project contemplated herein (the "Project").
2. Fill in all blanks, using "none" or "not applicable" or "N/A" where the question is not appropriate to the Project.
3. If an estimate is given as the answer to a question, put "(est)" after the figure or answer which is estimated.
4. If more space is needed to answer any specific question, attach a separate sheet.
5. When completed, return two (2) signed copies of this application to the Authority at 2 State Street, Auburn, New York 13021.
6. A completed Environmental Assessment Form (EAF) concerning the Project must be submitted with the Application. A Short Form EAF should be provided by staff with this Application. Depending on the nature of the Project, the Authority may require a Long Form EAF.
7. Please note that Article 6 of the New York Public Officers Law provides that all records in the possession of the Authority (with certain limited exceptions) are open to public inspection and copying. If the Applicant feels that there are elements of the Project which are in the nature of trade secrets or information, the nature of which is such that if disclosed to the public or otherwise widely disseminated would cause substantial injury to the Applicant's competitive position, the Applicant may identify such elements in writing and request that such elements be kept confidential in accordance with Article 6 of the Public Officers Law.
8. The Applicant will be required to pay to the Authority all actual costs incurred in connection with this application and the Project, including fees and expenses of the Authority's legal counsel.
9. The Authority has established an administrative fee to be paid by the Applicant upon successful conclusion of the sale of the bonds or the leaseback transaction, as applicable, said fee being intended to cover the indirect expenses incurred by the Authority in administering the Project. The administrative fees are outlined in Section I of this application or such other amount as is agreed to by the Authority on a case-by-case basis. Unless the Authority agrees in writing to the contrary, the administrative fee is required to be paid at or prior to the issuance of bonds or the granting of any financial assistance, as applicable.
10. The Authority has established an application fee of five hundred and 00/100 dollars (\$500) to cover the anticipated costs of the Authority in processing this application. A check or money order made payable to the Authority must accompany each application. This application will not be accepted by the Authority unless accompanied by the application fee.

I. Authority Administrative Fee Policy

The Auburn Industrial Development Authority (the "**Authority**") shall calculate Project administrative fees as follows:

For Projects with a Total Project Cost in excess of \$750,000:

- (i) Bond transactions shall incur a fee of 0.75% of the aggregate principal amount of the bonds issued with respect to the Project ("**Bond Fees**"). Legal fees shall be paid in addition to the Bond Fees and such other fees as is agreed to by the Authority Board on a case-by-case basis.
- (ii) Leaseback transactions shall incur a fee of 1% of the Total Project Costs ("**Leaseback Fees**"). Legal fees shall be paid in addition to the Leaseback Fees and such other fees as is agreed to by the Authority Board on a case-by-case basis.
- (iii) Due to the Authority's interest in promoting and contributing to public benefit, in the sole discretion of the Authority's Board, Leaseback Fees shall not exceed ten percent (10%) of the total benefit approved for the Project.

For Projects with a Total Project Cost between \$100,000 and \$750,000:

- (i) Application for Sales & Use Tax Exemption only shall incur a fee of \$500 and a flat rate legal fee of \$2,500.
- (ii) Application for exemption of Mortgage Recording Tax only shall incur a fee of \$500 and a flat rate legal fee of \$2,500.
- (iii) Application for both (i) and (ii) shall be a fee of \$1000 and a flat rate legal fee of \$3,000.

For purposes of this Policy, Total Project Costs shall be based upon the information in Article III, Section 9 of this Application for Financial Assistance.

II. Applicant Information

Company Name: **RJC Development, Inc. (Applicant may assign Contract and real property described therein to LLC of which shareholder/owner of Applicant is sole member.**

Address 1: PO Box 337

Address 2:

City/State/ZIP: Auburn NY 13021

Contact Person: Ryan Coe Title: President

Contact Telephone: 315-975-0000 Contact Fax:

Telephone:

Contact Email: ryan@rycoe.com

Attorney: Patrick Carbonaro

Firm: Carbonaro, Carbonaro & Brune, PC

Phone: 315-252-2352

Email: pcarbonaro@carbonarolaw.com

Accountant: Paul Cusano

Firm: Cusano Associates

Phone: 315-437-1130

Email: pc@sourceonecpa.com

Business Type: Privately Held Corporation

If other, describe:

If a corporation, date of 08/16/2014
establishment?

If a corporation, incorporated in NY
which state?

Principal Officers, Partners or Shareholders with 15% or greater interest in Applicant organization:

Name	Mailing Address	Telephone #	Percentage Ownership
Ryan Coe	6069 Town Hall Rd, Auburn, NY 13021	315-975-0000	100

Attach additional sheets if necessary.

III. Project Information

1. Provide a narrative description of your project. Include major elements such as new construction, acquisition of existing building, acquisition of equipment, and proposed product lines. Also, indicate square feet by usage (e.g., office, laboratory, manufacturing), type construction, etc. In the case of pollution control project, also indicate the type of pollutants to be treated or removed and the type of process to be employed. *Attach additional sheets if necessary.*

Project is new construction of 17,280 sq ft (7,480sqft retail/7,500sqft warehouse/2,300sqft office space)
non-production equipment purchase for Apex Trucking and Auto & RYCOE (\$595,275)

Total project cost: \$2,413,275

2. Location of project:

a. Address, including the City, Town, or Village:

Street Address: John Walsh Blvd

City/State/ZIP: Auburn, NY 13021

Tax Map ID (if available): 109.56-1-1.111

Zoning of Project Site: Commercial Zoning Change Needed?: No

b. Attach map showing the general location of the project.

c. If this project will result in closing or relocating from an existing facility, is the move necessary in order to remain competitive? No

d. Describe existing improvements, if any: n/a

3. Project User:

a. Will the Applicant be the User of the facility that is the subject of the proposed Project?
No

b. If no, please submit the following information about the user:

Company Name: **RYCOE Enterprises, Inc. and Apex Truck and Auto, Inc.**

Address 1: 6069 Town Hall Road

Address 2:

City/State/ZIP: Auburn NY 13021

Contact Person: Ryan Coe Title: President (of each)

Contact Contact

Telephone: Fax:

Contact Email: ryan@rycoe.com

Business Type: Privately Held Corporation

If other, describe:

If a corporation, date of establishment? 2013 and 2021, respectively

If a corporation, incorporated in which state? NY

c. Select the type of operations of all end users at the project site (check all that apply):

- Industrial
- Warehousing
- Back Office
- Commercial
- Retail
- Housing
- Mixed Use
- Facility for Aging
- Civic Facility
- Other

- d. Does the Project include facilities or property that are used in making retail sales of goods or services to customers who personally visit such facilities? Yes
- If yes, what percentage of the cost of the Project will be expended on such facilities or property used in making retail sales of goods or services to customers who personally visit such facilities? 43%
 - If more than 33.33%, please check all that apply from the following list:
 - The Project will be operated by a not-for-profit corporation.
 - The Project is likely to attract a significant number of visitors from outside of the economic development region (defined as the counties of Cayuga, Onondaga, Madison, Cortland, and Oswego).
 - The Project occupant, if not for the proposed financial assistance from the Authority, would locate the Project and related jobs outside of New York State.
 - The predominant purpose of the Project is to make available goods or services which would not, but for the Project, be reasonably accessible to the residents of the City, Town or Village within which the Project will be located due to a lack of accessible retail trade facilities offering such goods or services.
 - The Project will be located in an area designated as an Empire Zone pursuant to Article 18-B of the General Municipal Law.
 - The Project will be located in a census tract, or census tract contiguous thereto, which, according to the most recent census data has (a) a poverty rate of at least 20% or at least 20% of households receiving public assistance for the year in which the data relates, **and** (b) an unemployment rate of at least 1.25 times the statewide unemployment rate for the year to which the data relates.

4. Utilities on Site:

- | | | |
|------------------------|-----------|------------------------------------|
| a) Water Supply | Municipal | Describe source / supplier: |
| b) Sewer | Municipal | Describe other: |
| c) Electricity Utility | NYSEG | Describe other: |
| d) Gas Utility | NYSEG | Describe other: |

5. Attach copies of preliminary plans or sketches of proposed construction, site plans or floor plans of existing facility.
6. Who presently is legal owner of the project building or site described in # 2 above? **RJC Development, Inc., or LLC of which Ryan Coe is a member. At present, RJC Development, Inc. is a contract vendee for the real property on which the project will be constructed.**
7. Is there an existing or proposed lease for the project? No. If yes, attach a copy of the lease.
8. Existing Facilities within New York State:
 - a. Are other facilities owned, leased or used by the Owner or User (or any related entity/person) within the State? No
 - b. If there are other facilities within the state, is it expected that any of these other facilities will close or be subject to reduced activity as a result of the proposed Project? No
 - c. If yes, is the Project reasonably necessary to discourage the Owner or User from removing activities in the State to a location outside of the State? No If yes, please explain.

Note: The Authority is required to notify the chief executive officer of the municipality from which your facility is being relocated or abandoned. This notification will be sent prior to the Authority's conduct of required public hearing(s).

CERTIFICATION: Based upon the answers provided within question 8 above, the Company hereby certifies to the Authority that the undertaking of the proposed project and provision of financial assistance to the Company by the Authority will not violate Section 2306 of the New York Public Authorities Law.

9. Project Costs (Estimates):

- a. If yes, attach copy of Negative Declaration if completed, or a copy of submitted Environmental Assessment Form if Negative Declaration has not yet been issued.
- b. If no, attach a completed Environmental Assessment Form.

V. Employment and Payroll Projections

1. Job Creation:

- a. Anticipated construction jobs created by the Project:42
Anticipated Dates of Construction:4/15/2022 - 12/31/2022

- b. Permanent Full Time Equivalent (FTE)* Jobs to be Created and Retained by the Project

Column A: Insert the job titles or types that exist within the company at the time of application, as well as any job titles that will be established as a result of the Project.

Column B: Indicate the average wage for each listed job title/type in terms of annualized wages.

Column C: Indicate the wage range for each listed job title/type in terms of annualized wages.

Column D: Indicate the average amount of fringe benefits for each listed job title/type.

Column E: For each listed job title insert the number of FTEs that exist at the time of application.

Column F: Insert the number of FTE jobs to be created during year one of the Project for each listed job title.

Column G: Insert the number of FTE jobs to be created during year two of the Project for each listed job title.

Column H: Insert the number of FTE jobs to be created during year three of the Project for each listed job title.

(A) Job Title/Type	(B) Average Annual Wages	(C) Annual Wage Range	(D) Average Fringe Benefits	(E) Current Number of FTEs	(F) Jobs Created: Year One	(G) Jobs Created: Year Two	(H) Jobs Created: Year Three
President	\$142,000	\$120-\$160k	\$5k-\$10k	1	0	0	0
CFO	\$100,000	\$90k-\$110k	\$5k-\$10k	0	0	1	0
RYCOE Admin	\$52,500	\$40k-\$60k	\$5k-\$10k	1	2	0	0
RYCOE Tech Mgt	\$56,000	\$40k-\$70k	\$5k-\$10k	2	4	4	3
RYCOE Labor	\$45,000	\$20k-\$65k	\$5k-\$10k	8	10	7	10
Apex Admin	\$35,000	\$30k-\$50k	\$5k-\$10k	0	1	0	0
Apex Tech Mgt	\$56,250	\$40k-\$75k	\$5k-\$10k	2	3	0	0
Apex Labor	\$46,500	\$30k-\$70k	\$5k-\$10k	1	4	5	3
TOTALS:				15	24	17	16

*Definition of Full Time Equivalent (FTE) Job: For the purposes of this application, any employee working 30 hours or more per week is considered 1 FTE. Any employee working fewer than 30 hours per week is counted as a proportion of an FTE equal to the number of hours worked per week divided by 30. For example, an employee working 20 hours per week equals .67 FTE (20 divided by 30). Please contact Authority Staff if you have questions about calculating FTE. [NEEDS TO MATCH WITH RECAPTURE POLICY]

- 2. What percentage of jobs to be created are estimated to be filled by residents of the Labor Market Area, defined by the Authority as the Counties of Cayuga, Cortland, Onondaga, Ontario, Oswego, Seneca, Tompkins, and Wayne? 100%

3. Payroll Projections:

- a. Current Annual Payroll: \$750,800
- b. First Year After Completion of Project: \$1,825,800
- c. Second Year After Completion of Project: \$2,680,800
- d. Third Year After Completion of Project: \$3,465,800

VI. Estimate of Potential Benefits

1. Please indicate the type(s) of Financial Assistance sought for the Project:

Yes	Sales and Usage Tax Exemption
Yes	Mortgage Tax Exemption
Yes	Real Property Tax Abatement (PILOT Agreement)
No	Issuance by the Authority of Industrial Development Revenue Bonds

2. Estimated Project Benefits

Note to Applicant: AIDA staff will work with applicants to identify potential IDA benefits upon receipt of a completed draft application, using the information contained in the draft application and discussions with the applicant. Therefore, please do not complete this section or sign and certify application until AIDA staff has reviewed a draft application and assisted in the calculation of estimated benefits.

A. Sales and Use Tax Exemption

a. Amount of Project Cost Subject to Tax:	\$1,727,775
Applicable sales and use tax rate:	x .08
b. Financial benefit if fully exempt:	\$138,222

B. Mortgage Recording Tax Exemption

a. Projected amount of Mortgage:	\$1,200,000
Mortgage recording tax rate:	x .0075
b. Financial benefit if fully tax exempt:	\$9,000

C. Payment of Lieu of Taxes (PILOT) *

a. Investment in real property	\$1,600,000
b. Equalization rate	
c. Current, pre-project assessment	\$0
d. Probable post-project assessed value	\$2,804,717
e. PILOT Schedule	

Year	f. Abatement on Added Value	g. Abated Taxable Value	h. Total Tax Rate	i. PILOT Payment	j. Full Taxes	k. Net Exemption
<i>Calc.</i>		$c + [(d-c) \times f]$		$(g/1000) \times h$	$(d/1000) \times h$	$j - i$
1	100%	\$		\$	\$	\$

2	90%	\$		\$	\$	\$
3	80%	\$		\$	\$	\$
4	70%	\$		\$	\$	\$
5	60%	\$		\$	\$	\$
6	50%	\$		\$	\$	\$
7	40%	\$		\$	\$	\$
8	30%	\$		\$	\$	\$
9	20%	\$		\$	\$	\$
10	10%	\$		\$	\$	\$

1. Total PILOT Net Exemption:

\$see attached schedule

D. Interest Exemption – Bond transactions only

a. Total Estimated Interest Expense Assuming Taxable Interest:	\$
b. Total Estimated Interest Expense Assuming Tax-exempt Interest Rate:	\$
c. Interest Exemption (a - b):	\$

E. Total Estimated Exemptions

a. Sales & Use Tax Exemption	\$138,322.00
b. Mortgage Recording Tax Exemption	\$9,000.00
c. PILOT Real Property Net Exemption	\$652,898.64
d. Interest Exemption from Bond Issuance	\$
e. TOTAL EXEMPTION	\$800,120.64

3. Is it likely that the Project would be undertaken without the provision of the above financial assistance? Yes
 If yes, describe how the Project would be impacted if these benefits were not provided.
 Without the above financial assistance it would slow down the process of development and ramp up of job creation.

VII. Supplemental Materials

1. Map showing project location
2. Preliminary plans or sketches of proposed construction
3. Copies of two most recent annual financial statements and unaudited year to date financial statements
4. Copy of most recent Annual Report (for established businesses) or Business Plan (for new businesses)
5. Sales and income projections for next three years
6. Environmental Assessment Form of Negative Declaration
7. \$500 application fee
8. Other attachments (please specify):
 - a.
 - b.
 - c.
 - d.

- e.
- f.
- g.

VIII. Application Submission

Once the application has been reviewed by Authority staff and Section VI has been completed, please sign, certify and submit the completed application along with Supplemental Materials to:

AUBURN INDUSTRIAL DEVELOPMENT AUTHORITY

C/O Cayuga Economic Development Agency

2 State Street

Auburn, NY 13021

Email Applications (scanned PDFs) may be sent to: tverrier@cayugaeda.org

Telephone: (315) 252-3500

Administrative fees in the amount outlined in Section I will be collected at the time of closing.

Representations by the Applicant

The Applicant understands and agrees with the Authority as follows:

- A. Job Listings:** In accordance with Section 2329 of the New York Public Authorities Law, the applicant understands and agrees that, if the Project receives any Financial Assistance from the Authority, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Community Services Division (the "DOL") and with the administrative entity (collectively with the DOL, the "JTPA Entities") of the service delivery area created by the federal job training partnership act (Public Law 97-300) ("JTPA") in which the Project is located.
- B. First Consideration for Employment:** In accordance with Section 2329 of the New York Public Authorities Law, the applicant understands and agrees that, if the Project receives any Financial Assistance from the Authority, except as otherwise provided by collective bargaining agreements, where practicable, the applicant will first consider persons eligible to participate in JTPA programs who shall be referred by the JTPA Entities for new employment opportunities created as a result of the Project.
- C. Annual Sales Tax Filings:** In accordance with Section 2326(3) of the New York General Municipal Law, the applicant understands and agrees that, if the Project receives any sales tax exemptions as part of the Financial Assistance from the Authority, the applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the applicant and all consultants or subcontractors retained by the applicant.
- D. Annual Employment Reports:** The applicant understands and agrees that, if the Project receives any Financial Assistance from the Authority, the applicant agrees to file, or cause to be filed, with the Authority, on an annual basis, reports regarding the number of people employed at the project site.
- E. Absence of Conflicts of Interest:** The applicant has received from the Authority a list of the members, officers, employees and Counsel of the Authority. No member, officer, employee, or Counsel of the Authority has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:

**HOLD HARMLESS AGREEMENT AND APPLICATION DISCLAIMER
CERTIFICATION PURSUANT TO NEW YORK STATE
FREEDOM OF INFORMATION LAW ("FOIL")**

Applicant hereby releases the AUBURN INDUSTRIAL DEVELOPMENT AUTHORITY and the members, officers, servants, agents and employees thereof (the "Authority") from, agrees that the Authority shall not be liable for and agrees to indemnify, defend and hold the Authority harmless from and against any and all liability arising from or expense incurred by (A) the Authority's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the Application or the Project described therein or the tax exemptions and other assistance requested therein are favorably acted upon by the Authority, (B) the Authority's acquisition, construction and/or installation of the Project described therein and (C) any further action taken by the Authority with respect to the Project; including without limiting the generality of the foregoing, all causes of action and attorneys' fees and any other expenses incurred in defending any suits or actions which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the Authority or the Applicant are unable to reach final agreement with the respect to the Project, then, and in the event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the Authority, its agents or assigns, all costs incurred by the Authority in the processing of the Application, including attorneys' fees, if any.

Through submission of this Application for Financial Assistance (this "Application"), the Company acknowledges that the Authority, as a public benefit corporation, is subject to the New York State Freedom of Information Law ("FOIL") and Open Meetings Law ("OML"), as codified pursuant to the Public Officers Law ("POL") of the State of New York (the "State"). Accordingly, unless portions hereof are otherwise protected in accordance with this Certification, this Application, including all Company-specific information contained herein, is subject to public disclosure in accordance with applicable provisions of the POL, Title 15 of Article 8 of the Public Authorities Law ("PAL"), Article 18-A of the General Municipal Law ("GML") (to the extent applicable) and the Public Authorities Accountability Act of 2005, as codified within the PAL. Specifically, this Application may be disclosed by the Authority to any member of the public pursuant to a properly submitted request under FOIL and the Authority is further required to affirmatively disclose certain provisions contained herein pursuant to the GML and PAL, including the identification of the Company, general project description, location proposed capital investment and job estimates.

Notwithstanding the foregoing, the Company, pursuant to this Certification, may formally request that the Authority consider certain information contained within this Application and other applicable supporting materials proprietary information and "trade secrets", as defined within POL Section 87(2)(d). To the extent that any such information should qualify as trade secrets, the Company hereby requests that the Authority redact same in the event that formal disclosure is requested by any party pursuant to FOIL. Application Sections or information requested by Company for Redaction*:

(* - Please indicate specific sections within Application that the Company seeks to qualify as "trade secrets". Additional correspondence or supporting information may be attached hereto. Please also note that notwithstanding the Company's request, the Authority shall make an independent determination of the extent to which any information contained herein may be considered as such)

In the event that the Authority is served with or receives any subpoena, request for production, discovery request, or information request in any forum that calls for the disclosure of the Application, in entirety, specifically including but not limited to any demand or request for production or review of Company-designated trade secrets, the Authority agrees to notify the Company as promptly as is reasonably possible, and to utilize its best efforts to: oppose or decline any such request; preserve the confidentiality and non-disclosure of such requested confidential material; and maintain such information and prevent inadvertent disclosure in responding to any such discovery or information request. The Company understands and agrees that all reasonable costs, including attorney's fees, associated with any such formal undertaking by the Authority to protect the trade secrets from disclosure shall be reimbursed by the Company to the Authority.

The undersigned officer of the applicant deponent acknowledges and agrees that the applicant shall be and is responsible for all costs incurred by the Authority and legal counsel for the Authority, whether or not the Application, the proposed project it describes, the attendant negotiations, or the issue of bonds or other transaction or agreement are ultimately ever carried to successful conclusion and agrees that the Authority shall not be liable for and agrees to indemnify, defend and hold the Authority harmless from and against any and all liability arising from or expense incurred by (A) the Authority's examination and processing of, and action pursuant to or upon, the Application, regardless of whether or not the Application or the proposed project described herein or the tax exemptions and other assistance requested herein are favorably acted upon by the Authority, (B) the Authority's acquisition, construction and/or installation of the proposed project described herein and (C) any further action taken by the Authority with respect to the proposed project; including without limiting the generality of the foregoing, all causes of action and attorney's fees and any other expenses incurred in defending any suits or actions which may arise as a result of any of the foregoing.

By executing and submitting this Application, the applicant covenants and agrees to pay the following fees to the Authority, the same to be paid at the times indicated:

- (a) The sum of **\$500** as a non-refundable application fee, to be paid upon submission of the Application;
- (b) An Administrative Fee amounts to be determined using the schedule in Section I on page 2 hereof for all other projects for which the Authority provides financial assistance, to be paid at transaction closing;
- (c) An amount to be determined by Authority Staff payable to the Authority's bond/transaction counsel for the preparation and review of the inducement resolution, the environmental compliance resolution, TEFRA hearing proceedings and the tax questionnaire assuming no further activity occurs after the completion of the inducement proceedings, to be paid within ten (10) business days of the receipt of bond/transaction counsel's invoice;

- (d) All fees, costs and expenses incurred by the Authority for (1) legal services, including but not limited to those provided by the Authority's general counsel or bond/transaction counsel, and (2) other consultants retained by the Authority in connection with the proposed project; with all such charges to be paid by the applicant at the closing or, if the closing does not occur, within ten (10) business days of receipt of the Authority's invoices therefore please note that the applicant is entitled to receive a written estimate of fees and costs of the Authority's bond/transaction counsel;
- (e) The cost incurred by the Authority and paid by the applicant, including bond/transaction counsel and the Authority's general counsel's fees and the processing fees, may be considered as a costs of the project and included in the financing of costs of the proposed project, except as limited by the applicable provisions of the Internal Revenue Code with respect to tax-exempt bond financing.

The applicant further covenants and agrees that the applicant is liable for payment to the Authority of all charges referred to above, as well as all other actual costs and expenses incurred by the Authority in handling the application and pursuing the proposed project notwithstanding the occurrence of any of the following:

- (a) The applicant's withdrawal, abandonment, cancellation or failure to pursue the Application;
- (b) The inability of the Authority or the applicant to procure the services of one or more financial institutions to provide financing for the proposed project;
- (c) The applicant's failure, for whatever reason, to undertake and/or successfully complete the proposed project; or
- (d) The Authority's failure, for whatever reason, to issue tax-exempt revenue bonds in lieu of conventional financing.


The applicant and the individual executing this Application on behalf of applicant acknowledge that the Authority and its counsel will rely on the representations made in this Application when acting hereon and hereby represents that the statements made herein do not contain any untrue statement of a material fact and do not omit to state a material fact necessary to make the statements contained herein not misleading.

Company Acknowledgment and Certification:

The undersigned, being a duly authorized representative of the Company, hereby and on behalf of the Company, certifies to the best of his or her knowledge and under the penalty of perjury that all of the information provided by the Company within this Application for Financial Assistance is true, accurate and complete.

The Company, on behalf of itself and all owners, occupants and/or operators receiving or that will receive financial assistance from the Authority (collectively, the "Recipients") hereby certifies that the Recipients are in substantial compliance with applicable local, state and federal tax, worker protection and environmental laws, rules and regulations.

The Company, on behalf of itself and all Recipients, hereby further acknowledges that the submission of any knowingly false or knowingly misleading information herein or within any agreement with the Authority may lead to the immediate termination of any financial assistance and the reimbursement of an amount equal to all or part of any tax exemptions claimed by reason of the Authority's involvement in the project, including all costs of the agency relating to same. The Company has reviewed and accepts the terms of the Authority's Project Recapture and Termination Policy.

By: 
Name: Ryan J Coe
Title: President

State of New York)
County of Cayuga) ss.:

On the 11 day of February in the year 2022, before me, the undersigned, personally appeared Ryan J Coe, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signatures on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

Notary Public


BARBARA A. GRANEY
Notary Public, State of New York
Reg. No. 01GR4993827
Qualified in Cayuga County
My commission expires 03-23-2022

Appendix 1:

PROJECT MONITORING POLICY

Auburn Industrial Development Authority

Adopted: November 17, 2015; Amended: June 21, 2016

The Auburn Industrial Development Authority (AIDA) will adopt the following steps and procedures for the purpose of monitoring the results of PILOT and other tax abatement program(s) that are established with companies. The required steps are as follows:

- 1) Adoption of a PILOT agreement; of which in it there are goals set forth and agreed upon by both AIDA and the company ("Project Goals"). Project Goals may include, but are not limited to, level of investment, job creation/retention (including salary ranges for new and retained positions), and sales tax generation goals. Goals will be determined on a case by case basis.
- 2) AIDA will ask the company to document the number of employees and company payroll, as well as baseline data for any additional Project Goals, at the time the project is induced. Project costs will be verified during the time of the project start-up and then as soon after project completion as feasible. Verification will consist of a certification by the companies' accountant or engineer of the cost(s) of the project. The company will also be asked to provide a copy of their annual financial report/audit to AIDA at the close of the fiscal year(s) during which the project took place.
- 3) Annually, AIDA will ask the company to document the number of retained and/or created jobs and their salaries, as well as sales tax generation for retail and tourism projects. The attached form, which is subject to revision from time to time, will be used for this purpose. AIDA's Acting Treasurer will be responsible for distributing the form to companies with PILOTs or other tax abatement programs no later than December 31st. All new PILOT agreements created after the effective date of this policy will include a reporting clause that will require the companies to return this form by January 31st or risk default. AIDA may also request a copy of the company's NYS-45 with all individual identifying information redacted in order to verify reported employment levels.
- 4) A member of AIDA's staff or board, or a representative of the Cayuga Economic Development Authority (CEDA) on behalf of AIDA, will conduct an annual site visit to each company with a PILOT agreement to see how the company is doing and the status of any improvements and progress toward achieving the Project Goals. The site visit will also allow the AIDA or CEDA representative to observe any new construction, discuss financial operation and performance shortfalls (if any), and to obtain a visual representation of employment levels.
- 5) The AIDA or CEDA representative conducting the site visit, in conjunction with the AIDA Assistant Treasurer, will prepare a report describing each company, its Project Goals, and the progress in achieving the Project Goals.
- 6) The Board of Directors will review the site visit reports and data relevant to Project Goals and compare them to the original agreed upon Project Goals. This will be done at regular meetings throughout the year as site visits are conducted and reports completed.
- 7) If a company has failed to achieve the proposed Project Goals, the AIDA or CEDA representative that conducted the visit, in conjunction with the AIDA Executive Director or Acting Treasurer if necessary, will be responsible for finding the reasons for the shortfall and presenting them to the Board. The Board will then determine whether to:
 - Work with the company in an effort to achieve the Project Goals
 - Give the company more time to achieve the Project Goals
 - Pursue recapture penalties

AUBURN INDUSTRIAL DEVELOPMENT AUTHORITY

Project Report

As part of the incentive package provided to your company by the Auburn Industrial Development Authority (AIDA), it is required that you report to AIDA on an annual basis information regarding employment levels and payroll. Please fill out the form below to satisfy this requirement. All employment and payroll information should be reported as of December 31. Please complete and return this form to **AIDA, 2 State Street, Auburn, NY 13021** by **January 31**.

Contact Information

Company Name:

Company Address:

Company Phone:

Contact Person:

Contact Person Phone:

Contact Person Email:

Employment Level

Number of Full Time Equivalent (FTE)* Employees as of December 31: _____

Number of Leased Employees as of December 31: _____

Number of employees in each of the following categories:

	Skilled	Semi-skilled	Unskilled
Full time			
Part time			
Leased			

Number of Construction Jobs in the reporting year (if applicable): _____

*Definition of Full Time Equivalent (FTE) Employee: For the purposes of this form, any employee working 30 hours or more per week is considered 1 FTE. Any employee working fewer than 30 hours per week is counted as a proportion of an FTE equal to the number of hours worked divided by 30. For example, an employee working 20 hours per week equals .67 FTE (20 divided by 30). Please contact Authority Staff if you have questions about calculating FTE.

Company Payroll

Please do not include data regarding leased employees in the payroll section.

Total payroll as of December 31: \$ _____

Average annualized wage: \$ _____

Annualized wage range: \$ _____ to \$ _____

Sales Tax Generation (For Retail/Tourism Projects Only)

Please state the amount of sales tax generated by your business as reported to the NYS Dept. of Taxation and Finance (Form ST-100) for the last four quarters:

December 1 – February 28: \$ _____

March 1 – May 31: \$ _____

June 1 – August 31: \$ _____

September 1 – November 30: \$ _____

Optional: Employment Plans

What are your employment plans for the current calendar year?

Increase employment Keep current employment levels Decrease employment

How much? _____

How much? _____

Please explain your reasoning for this employment plan:

I hereby certify that the above information is accurate to the best of my knowledge and that I am authorized by the company listed above to report information regarding employment and payroll.

Signature

Print Name

Title

Date

Appendix 2:

LOCAL LABOR POLICY AGREEMENT Auburn Industrial Development Authority Adopted: September 16, 2020

Project Applicants, as a condition to receiving Financial Assistance (including sales tax exemption, mortgage recording tax exemption, real property tax abatement, and/or bond proceeds) from the Auburn Industrial Development Authority (the "Authority") will be required to use local labor for 100% of the construction of new, expanded, or renovated facilities. Local labor is defined as an individual that resides within the Cayuga County, an adjacent county, or New York State as stated in the percentages below:

- 65% of all project employees of the general contractor, subcontractor, or subcontractor to the subcontractor (collectively, the "Workers") must reside within Cayuga County, including the City of Auburn.
- An additional 20% of Workers must reside in Cayuga County or an adjacent county (Oswego, Onondaga, Ontario, Cortland, Tompkins, Seneca, or Wayne).
- An additional 15% of Workers must reside within Cayuga County, an adjacent county, or New York State.

The Authority may determine on a case-by-case basis to waive all or a portion of the local labor policy for a project or a portion of a project where consideration of warranty issues, necessity of specialized skills, cost differentials of at least 10% between local and non-local services, documented lack of Workers meeting the local labor requirement, or other compelling circumstances exist.

In consideration of the extension of Financial Assistance by the Authority, RJC Development Inc (Applicant) understands the Local Labor Policy and agrees to submit a Local Labor Utilization Report Form (attached) to the Authority every 90 days after authorization of the Financial Assistance, and/or at the completion of the construction portion of Rycoe Enterprises Inc & Apex Truck Auto (the Project). The Applicant further understands any request for a waiver to this policy must be submitted in writing using the Local Labor Policy Waiver Request form (attached) and approved by the Authority prior to hiring any Workers that do not satisfy the local labor requirements laid out above. If Financial Assistance has already been approved, the Applicant must submit documentation of a good faith effort to procure local labor with the Waiver Request Form. A "good faith effort" means that the Applicant has submitted bids, requests for proposals, or other procurement documents to local contractors and suppliers on the same terms and at the same time as submitted non-local contractors and suppliers. Evidence of the Applicants "good faith effort" shall include, without limitation documentation of the companies receiving bid documents, information regarding their proposal or decision not to bid, and/or a list of companies and unions contacted in an effort to identify local firms and workers for the Project. The Applicant further understands that if the required forms are not submitted to the Authority, then the Authority shall have the right to immediately terminate any and all Financial Assistance being provided to the Project.

An extensive list of local resources, labor unions, contractors is available on the Authority's website, www.auburnida.org.

Auburn Industrial Development Authority Local Labor Policy Certification

I agree to the conditions of this agreement and certify all information provided regarding the construction and employment activities for the Project as of 2/11/22 (date).

Applicant: RJC Development Inc

Representative for Contract Bids/Awards: RycoE Enterprises Inc.

Vendor Address: PO Box 337

City: Auburn State: ny Zip Code: 13021

Email: ryan@rycoe.com

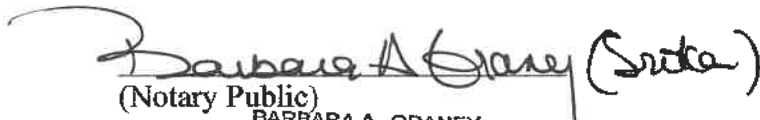
Project Address: John Walsh Blvd, Auburn NY

Authorized Representative: Ryan J Coe

Title: President

Signature: 

Sworn to before me this
11 day of February, 2022


(Notary Public)

BARBARA A. GRANEY
Notary Public, State of New York
Reg. No. 01GR4993627
Qualified in Cayuga County
My commission expires 03-23-2022

Local Labor Utilization Report

Applicant: _____

Project Address: _____

COMPLETE FOR ALL CONSTRUCTION CONTRACTORS, SUBCONTRACTORS, AND SUBCONTRACTORS OF SUBCONTRACTORS WHO ARE WORKING OR WHO HAVE WORKED ON THIS SITE IN THE LAST 90 DAYS.

Vendor Name: _____

Vendor Address: _____

City: _____ State: _____ Zip Code: _____

Email: _____

List the number of employees residing in each of the following:

Location	# of employees
City of Auburn	Click here to enter text.
Cayuga County outside of Auburn City limits	Click here to enter text.
Oswego County	Click here to enter text.
Onondaga County	Click here to enter text.
Ontario County	Click here to enter text.
Cortland County	Click here to enter text.
Tompkins County	Click here to enter text.
Seneca County	Click here to enter text.
Wayne County	Click here to enter text.
New York State outside of the above listed Counties	Click here to enter text.
Outside of NYS	Click here to enter text.

Is construction complete? Choose an item.

Is this your final report? Choose an item.

I certify that the above is an accurate accounting of the employees that are employed by my company who are working at the above listed project address and their residency.

Authorized Company Representative: _____

Signature:

Date: _____

Local Labor Policy Waiver Request

Applicant: _____

Project Address: _____

Describe the portion(s) of the project for which you would like the Local Labor requirements waived:

[Click here to enter text.](#)

Reason for waiver request:

- Warranty requirements- Attach supporting documentation
- Necessity of specialized skills- Attach description of need and documentation of unavailability of Workers with needed skills
- Cost differential of at least 10%- Attach supporting quotes, including at least two using local labor
- Unavailability of Workers meeting local labor requirement- Attach supporting documentation
- Other compelling circumstances- Attach description of circumstances

If for a reason other than warranty requirements, attach a list and/or other documentation of efforts made to identify Workers meeting the Local Labor Policy Requirements.

I _____ (Authorized Representative) hereby request a waiver from the Authority's Local Labor Policy for the above mentioned portions of _____ (the project). I understand that the submission of this form does not guarantee a waiver from the Authority and that hiring Workers that do not meet the Local Labor requirements prior to receiving written approval of this Waiver from the Authority could disqualify the project from receiving financial assistance from the Authority and/or could cause the Authority to terminate existing financial assistance.

Authorized Company Representative: _____

Signature: _____

Date: _____

Project Description:

Project is new construction 17,280 sq ft (7,480 retail / 7,500 sqft warehouse / 2,300 sqft office space). Non production equipment purchase for 2 companies (\$595,275). Total project cost \$2,413,275

Project Budget:

Land Aquisition	\$13,000
Building Construction/ Renovation	\$1,250,000
Site Work	\$350,000
Machinery & Equipment	\$595,275
Furniture & Fixtures	\$132,500
Soft Costs (Arch., Legal, Eng.)	\$72,500
Financial Charges	\$0
Environmental Remediation	
Contingency	
TOTAL	\$2,413,275

<p>AIDA Abatements & Incentives</p> <p>Property Tax Abatements (485a, no PILOT)</p> <table> <tr> <td>City</td> <td>\$209,832.68</td> </tr> <tr> <td>School</td> <td>\$306,558.69</td> </tr> <tr> <td>County</td> <td>\$136,507.26</td> </tr> <tr> <td>TOTAL</td> <td>\$652,898.64</td> </tr> </table> <p>Sales & Use Tax Exemption (maximum)</p> <table> <tr> <td>Estimated taxable costs</td> <td>\$1,727,775</td> </tr> <tr> <td>Local Sales Tax</td> <td>\$69,111</td> </tr> <tr> <td>State Sales Tax</td> <td>\$69,111</td> </tr> <tr> <td>TOTAL</td> <td>\$138,222</td> </tr> </table> <p>Mortgage Recording Tax Exemption (estimated)</p> <table> <tr> <td>Mortgage amount</td> <td>\$1,200,000</td> </tr> <tr> <td>Mortgage Recording Tax</td> <td>\$9,000</td> </tr> <tr> <td>TOTAL</td> <td>\$9,000</td> </tr> </table> <p>TOTAL ABATEMENT</p> <table> <tr> <td>Property Tax</td> <td>\$652,898.64</td> </tr> <tr> <td>Sales & Use Tax</td> <td>\$138,222</td> </tr> <tr> <td>Mortgage Recording Tax</td> <td>\$9,000</td> </tr> <tr> <td>TOTAL</td> <td>\$800,120.64</td> </tr> </table>	City	\$209,832.68	School	\$306,558.69	County	\$136,507.26	TOTAL	\$652,898.64	Estimated taxable costs	\$1,727,775	Local Sales Tax	\$69,111	State Sales Tax	\$69,111	TOTAL	\$138,222	Mortgage amount	\$1,200,000	Mortgage Recording Tax	\$9,000	TOTAL	\$9,000	Property Tax	\$652,898.64	Sales & Use Tax	\$138,222	Mortgage Recording Tax	\$9,000	TOTAL	\$800,120.64	<p>Total Benefits</p> <p>Additional Property Tax (estimated)</p> <table> <tr> <td>City</td> <td>\$180,293.41</td> </tr> <tr> <td>School</td> <td>\$263,402.74</td> </tr> <tr> <td>County</td> <td>\$117,290.39</td> </tr> <tr> <td>TOTAL</td> <td>\$560,986.54</td> </tr> </table> <p>Additional Sales Tax Collected (estimated)</p> <table> <tr> <td>Anticipated growth in sales</td> <td></td> </tr> <tr> <td>Est. 2017 sales tax (pre)</td> <td>\$0</td> </tr> <tr> <td>Est. 2019 sales tax (post)</td> <td>\$0</td> </tr> <tr> <td>Growth in sales tax revenue</td> <td>\$0</td> </tr> </table> <p>Additional payroll (estimated)</p> <table> <tr> <td>Anticipated job creation</td> <td>57</td> </tr> <tr> <td>Anticipated payroll increase</td> <td>\$1,930,000</td> </tr> </table> <p>Net Benefits</p> <table> <tr> <td>Tax revenue to jurisdictions</td> <td>(\$239,134)</td> </tr> <tr> <td>Job Creation</td> <td>57</td> </tr> <tr> <td>Payroll</td> <td>\$1,930,000</td> </tr> </table>	City	\$180,293.41	School	\$263,402.74	County	\$117,290.39	TOTAL	\$560,986.54	Anticipated growth in sales		Est. 2017 sales tax (pre)	\$0	Est. 2019 sales tax (post)	\$0	Growth in sales tax revenue	\$0	Anticipated job creation	57	Anticipated payroll increase	\$1,930,000	Tax revenue to jurisdictions	(\$239,134)	Job Creation	57	Payroll	\$1,930,000
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Qualitative: New construction to house 3 companies. Owner Ryan Coe owns RJC Development (real estate development), RYCOE (landscaping), and Apex Truck and Auto (Auto repair). Estimated job creation - 57 over the next 3 years.

Show search results for john w...



35

WEEDSPORT SCHOOL DISTRICT
AUBURN ENLARGED SCHOOL DISTRICT

1.9 A
32.13

Parcel Data:

Tax Map Number	109.56-1-1.111
Location	John Walsh Blvd
Municipality	Auburn
Owner	City of Auburn,
Deed Reference	3750-155
School District	Auburn Enlarged
Image Mate	More info
County Bill	More info
School Bill	More info
City or Village Bill	More info
Property Class	330
Land Size	11.22 AC
Land Assessed Value	215,000

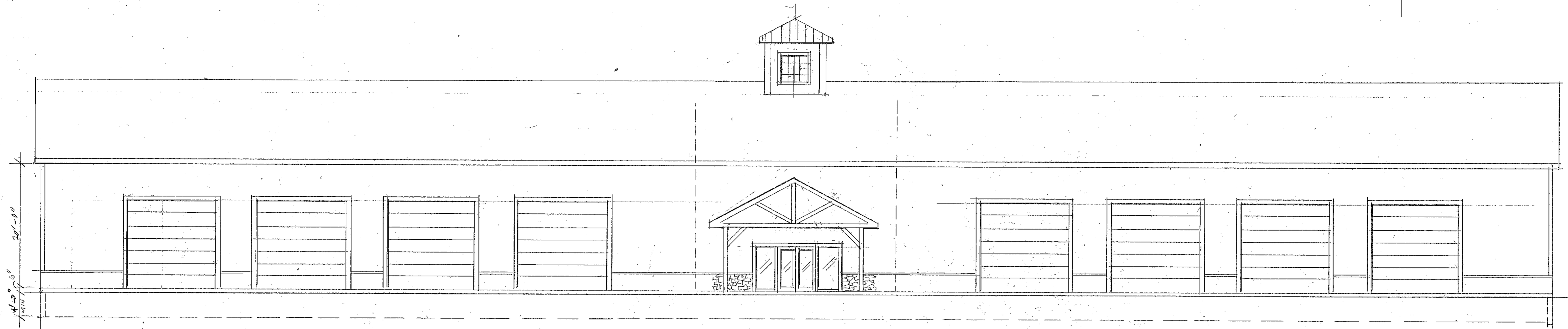
[Zoom to](#) ...

100m
300ft

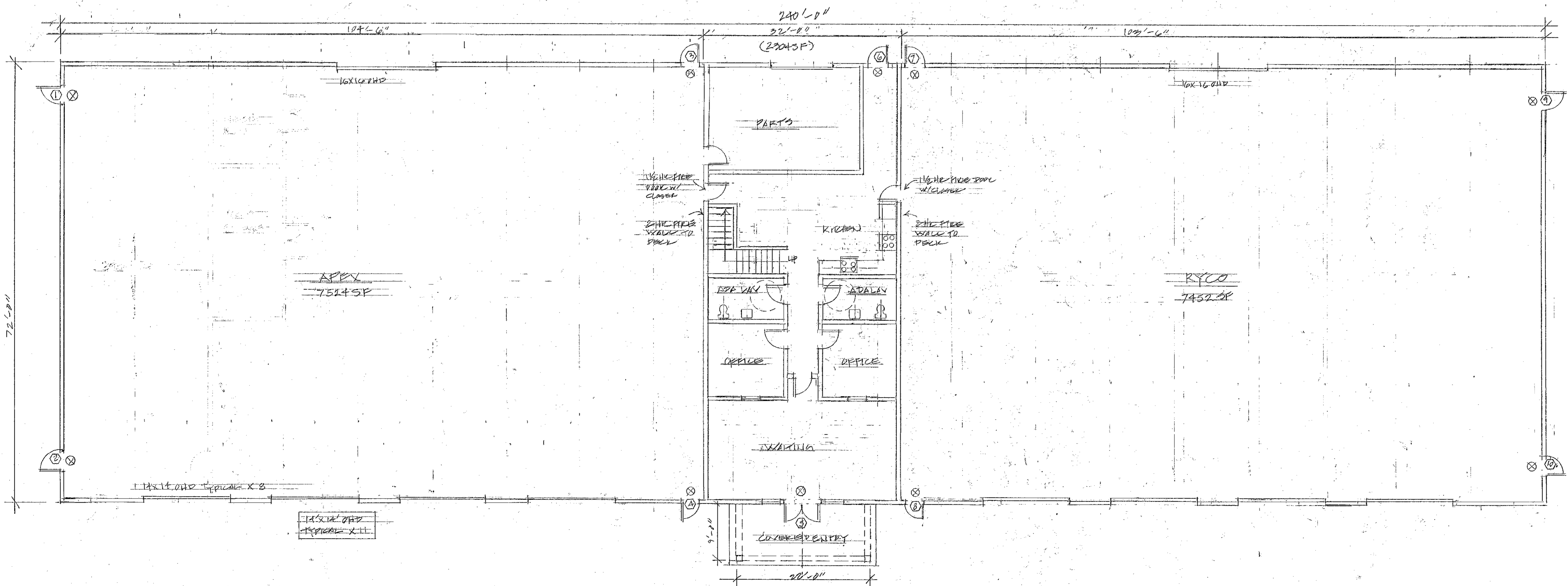
5165 Degrees

JOHN WALSH BOULEVARD

BROOKSIDE



2 FRONT (SHED ELEVATION)
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

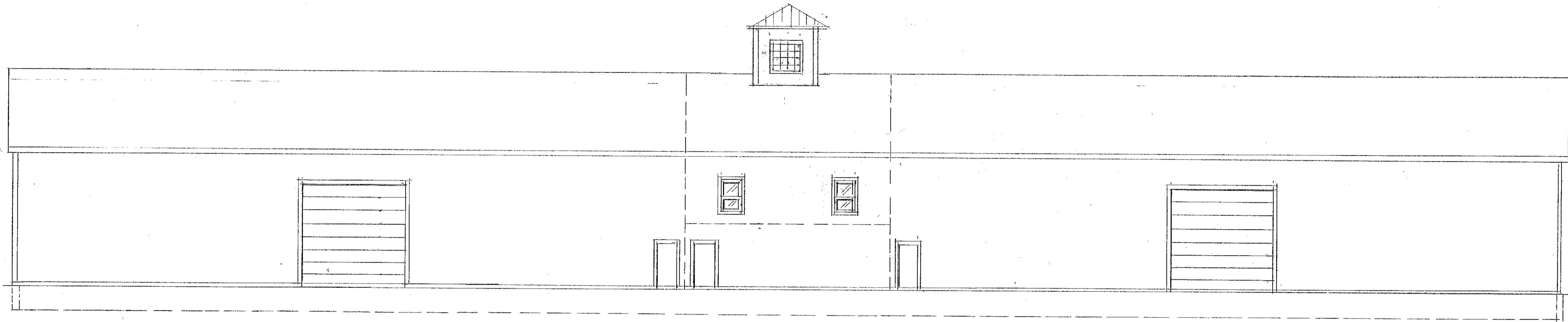
Patrick E Leamy
Architect
3204 Franklin Street Road
Auburn, New York 13021
(315) 399-2499 mobile
peleamy@yahoo.com

Project:
109-56-1-111 & 109-55-1-121
John Walsh Boulevard
City of Auburn Cayuga County NY

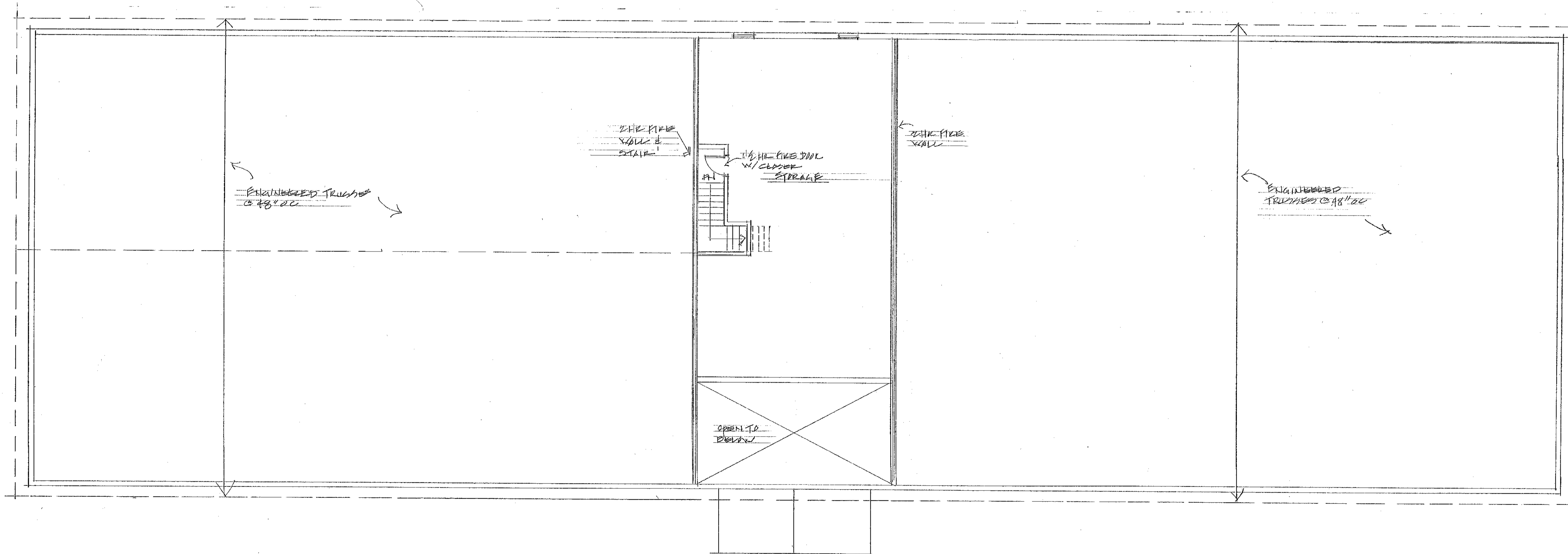
RIC DEVELOPMENT
P.O. Box 337
Auburn, New York

First floor plan
Front elevation

A-1



2 REAR (NORTH) ELEVATION
SCALE: 1/8" = 1'-0"



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

Patrick E Leamy
Architect
3204 Franklin Street Road
Auburn, New York 13021
(315) 399-2459 mobile
peleamy@yahoo.com

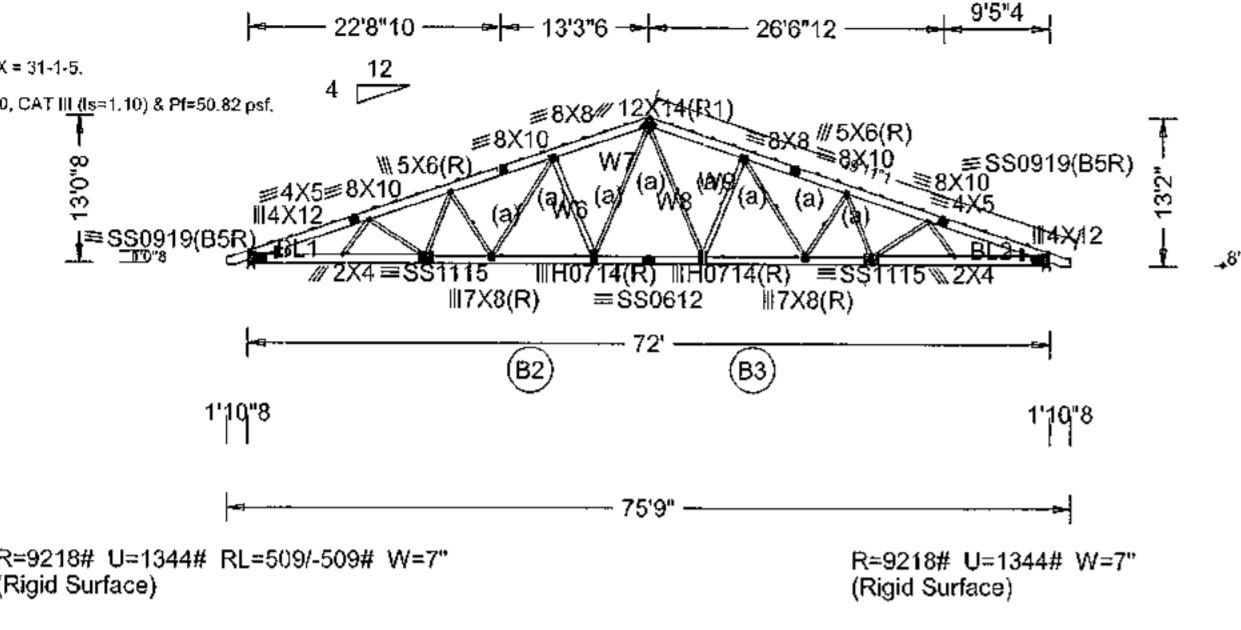
Project: 109-56-1-111 & 109-55-1-121
JOHN WALSH BOULEVARD
RIC Development
PO Box 337
Auburn New York 13021

Second Floor plan
Rear Elevation

100:21-7257 / SVBR/YCCO
 THIS DWG. PREPARED FROM COMPUTER INPUT & DIMENSIONS SUBMITTED BY TRUSS MFR.
 Blocking reinforcement required to prevent buckling of members over the bearing.
 Bearing 1 located at 0.0' (blocking = 2.00' used)
 Bearing 2 located at 71.4' (blocking = 3.50' used)
 Wind loads and reactions based on MWFRS with additional C&C member design.
 Deflection meets L240 live and L180 total load. Creep increase factor for dead load is 2.00.
 Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607.
 Trusses to be spaced at 48.0" on maximum.
 Deflection meets L240 live and L180 total load. Creep increase factor for dead load is 2.00.
 WARNING: Furnish a copy of this DWG to the installation contractor. Failure to follow provisions of BCISI in handling and installation of trusses can result in serious injuries. Do not permit inexperienced and untrained people to install trusses. See "WARNING" note below. BCISI recommends retaining a registered professional engineer for the design of temporary bracing.
 (a) Continuous lateral restraint, equally spaced on member.
 Purlins are shown to indicate required spacing only. Purlin size, grade, orientation and placement shall comply with the Building Designer's requirements.
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

CHORD	SPACING(IN OC)	START(FT)	END(FT)
TC	24	1.88	36.00
BC	24	36.00	73.88
BC	24	73.88	77.88

 Apply purlins to any chords above or below files of 24" OC unless shown otherwise above.
 Calculated vertical deflection is 1.54" due to live load and 0.30" due to dead load at X = 31'-1.5".
 Truss designed for unbalanced snow load based on Pg=60.00 psf, C_s=1.10, C_e=1.00, C_{at} III (B=1.10) & P_s=53.82 psf.



OH LEFT RAKE = 11'7"
 DESC. = SVBR/YCCO
 P.L.T. TYP-WAVE

TC LL	REF
TC LL 50.0psf	REF
TC DL 5.0psf	DATE
BC DL 5.0psf	DRWG 12-13-2021
BC LL 0.0psf	O/A LEN 72
TOT LD 60.0psf	DUR.FAC. 1.15
JOB # 21-7257	TYPE COMN
SPACING 48.0"	

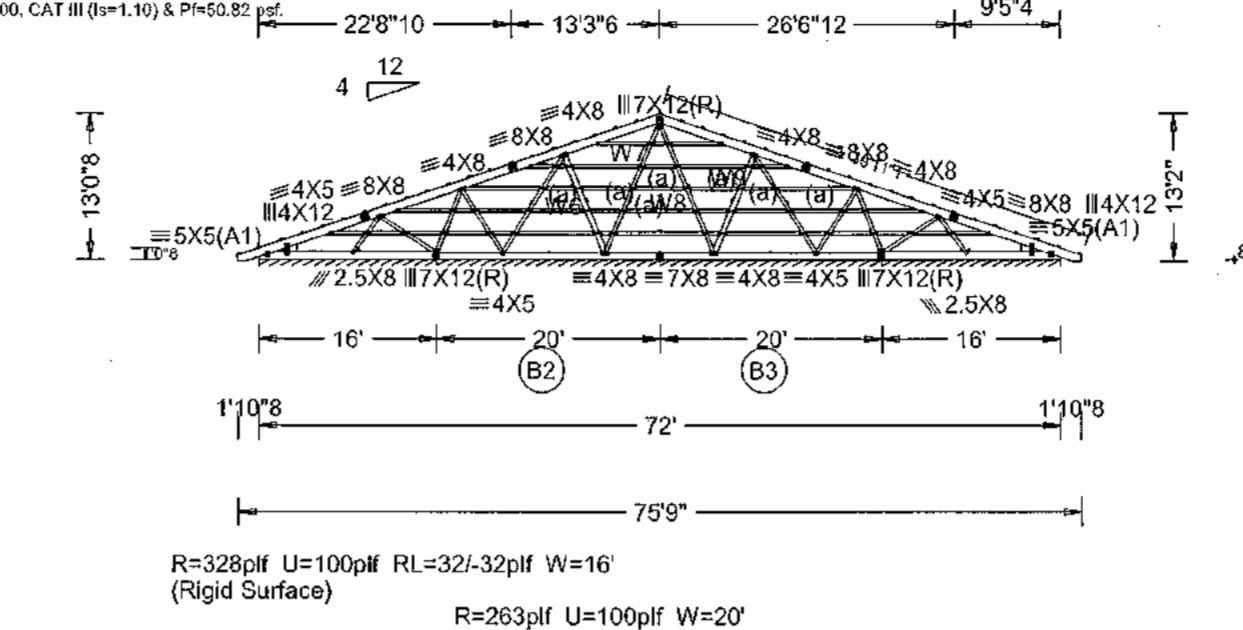
QTY= 59 TOTAL= 59
 REV. 21.01.03.0922.21 SEQ= 257728 SCALE=0.0593

Countryside
 Truss Manufacturing LLC
 360 County Hwy 151
 ST Johnsville NY 13452
 518 207 5709

100:21-7257 / SVBR/YCCO
 THIS DWG. PREPARED FROM COMPUTER INPUT & DIMENSIONS SUBMITTED BY TRUSS MFR.
 Wind loads and reactions based on MWFRS with additional C&C member design.
 Bottom chord checked for 10.00 psf non-concurrent bottom chord live load applied per IBC-15 section 1607.
 Trusses to be spaced at 48.0" on maximum.
 Deflection meets L240 live and L180 total load. Creep increase factor for dead load is 2.00.
 WARNING: Furnish a copy of this DWG to the installation contractor. Failure to follow provisions of BCISI in handling and installation of trusses can result in serious injuries. Do not permit inexperienced and untrained people to install trusses. See "WARNING" note below. BCISI recommends retaining a registered professional engineer for the design of temporary bracing.
 (a) Continuous lateral restraint, equally spaced on member.
 Purlins are shown to indicate required spacing only. Purlin size, grade, orientation and placement shall comply with the Building Designer's requirements.
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

CHORD	SPACING(IN OC)	START(FT)	END(FT)
TC	24	1.88	36.00
BC	24	36.00	73.88
BC	24	73.88	77.88

 Apply purlins to any chords above or below files of 24" OC unless shown otherwise above.
 Truss designed for unbalanced snow load based on Pg=60.00 psf, C_s=1.10, C_e=1.00, C_{at} III (B=1.10) & P_s=53.82 psf.

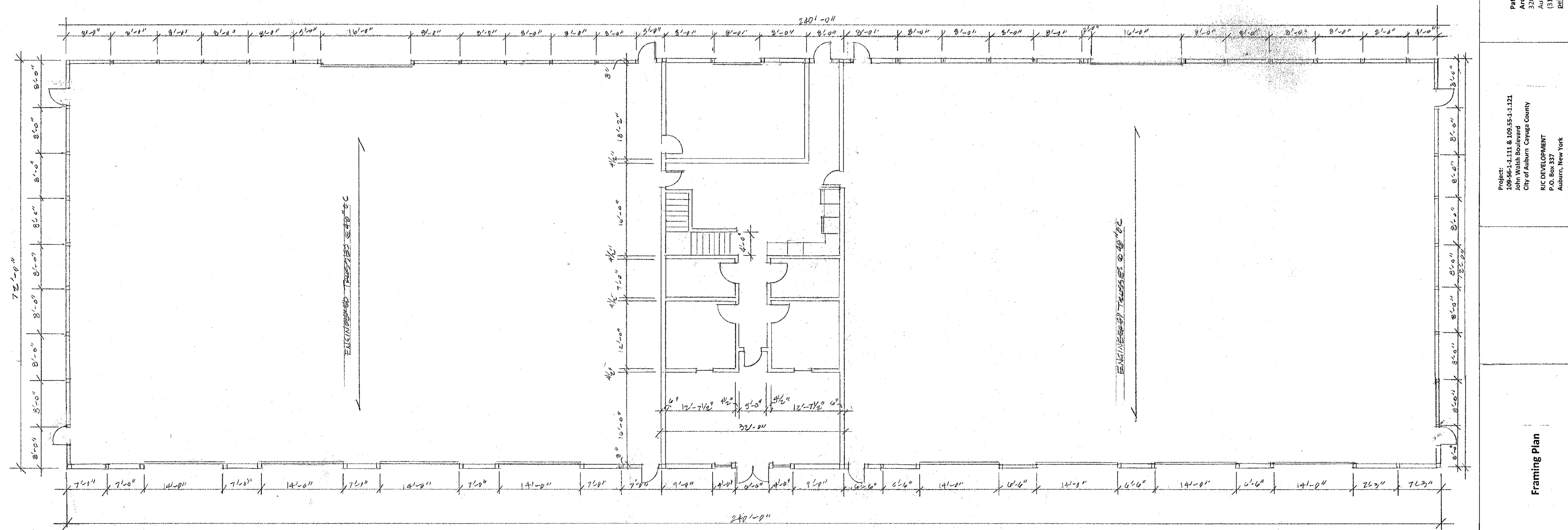


OH LEFT RAKE = 11'7"
 DESC. = SVBR/YCCO
 P.L.T. TYP-WAVE

TC LL	REF
TC LL 50.0psf	REF
TC DL 5.0psf	DATE
BC DL 5.0psf	DRWG 12-13-2021
BC LL 0.0psf	O/A LEN 72
TOT LD 60.0psf	DUR.FAC. 1.15
JOB # 21-7257	TYPE GABL
SPACING 48.0"	

QTY= 2 TOTAL= 2
 REV. 21.01.03.0922.21 SEQ= 257733 SCALE=0.0593

Countryside
 Truss Manufacturing LLC
 360 County Hwy 151
 ST Johnsville NY 13452
 518 207 5709



FRAMING PLAN
 SCALE: 1/8" = 1'-0"

Patrick E Leamy
 Architect
 3704 Franklin Street Road
 Auburn, New York 13021
 (315) 399-2469 mobile
 pe@leamyarchitect.com

Project:
 109-56-1.1.111 & 109-55-1.1.121
 John Walsh Boulevard
 City of Auburn, Cayuga County
 RIC DEVELOPMENT
 P.O. Box 337
 Auburn, New York

Framing Plan

General Notes:

- A. Do not scale these drawings. Contractor to field verify all dimensions and field conditions prior to starting work. Starting work indicates acceptance of existing conditions. Notify architect immediately in writing of any discrepancies.
- B. Owner/contractor to pull necessary building permits, current site surveys, construction staging and arrange for inspections with town/city building department at required intervals during the project. Contractor to provide engineered and stamped truss certificates and floor framing engineering drawings (for pre-engineered flooring and roof systems) to building department and architect prior to starting work, when applicable. Contractor shall be responsible for selective demolition and thoroughly removing all spoil material from the site to a proper and legal landfill. Contractor to maintain proper site access and protection of existing adjacent portions of the site and any existing buildings for the duration of the project.
- C. Follow all current, local, IBC, NYS 2020 and 2021 Supplement, Federal, NEC, BOCA, NFPA, HVAC, Department of Energy, health and plumbing codes as they apply. All fire walls shall require fire rated materials, blocking and fire sealant around any penetrations, under sills, and top plates, for the complete length of walls. All railings must follow NYS code, rails and guard sections current edition, top guard rail height to be a minimum of 42" AFF and balustrades maximum of 4" on center. All spaces require hard wired smoke/carbon monoxide detectors as per NYS code.
- D. All electrical work to be performed by a licensed electrician and inspected by the local authority prior to closing walls, floors and ceiling. GFCI duplex receptacle outlets and NEMA protected weather proof fixtures shall be used in all-weather prone or wet locations in compliance with NEC 2018 or latest edition.
- E. Architect is not responsible for site visits or contract administration for this project. The owner will act as administrator of this project.
- F. All building materials shall be of a first rate quality. Contractor is responsible for the construction site to remain safe and clean in compliance with OSHA standards and regulations. Follow all manufacturer's instructions on installation of building systems and equipment. Contractor shall have all existing utilities located and staked (UFPD) as well as verify the location of all site utilities and services. Contractor shall carefully perform excavation and be responsible for the temporary protection of all utilities and services. Contractor shall exercise extreme caution when working under or near overhead power lines, and shall coordinate such work with the utility company. Contractor is responsible for any temporary shoring and weather protection for materials and structure throughout the duration of the project. All footings shall be board formed unless otherwise directed in writing by Architect.
- G. Architect is not responsible for environmental hazards such as, but not limited to radon, pollution in well or public water, water shed, lakes, streams, ponds, or for septic systems; lead in paint or water systems, buried or above ground oil, gas or propane tanks, sub-soil conditions or seismic activity. Appropriate design professionals should be consulted for any of the aforementioned conditions. Contractor is responsible for soil erosion control measures throughout the project that shall be approved by the local municipality and/or municipal engineer and at no time shall run-off from the site be allowed to encroach the public domain or adjacent properties.
- H. The owner and contractor shall provide the specifications for colors and finishes for project completion. The owner/contractor shall specify all appliances, mechanical equipment, hardware, light fixtures, plumbing fixtures, and any other ancillary systems related to the project. All of the aforementioned shall meet local, state, federal and energy codes.
- I. All firewalls and vertical enclosure fire ratings shall be constructed per code. This shall include fire rated sheetrock taped and finished on walls and ceilings, blocking, labeled fire rated doors, framing and hardware, and self-closing/opening protective devices.
- J. HVAC, plumbing, electrical and fire detection systems are to be design build with general contractor and are not the architect's responsibility. All modifications shall meet current code for each trade involved.

Trusses to be designed by professional engineer

- Loads:
- 50 PSF live load
- 15 PSF dead load
- 75 PSF total minimum load

Follow all truss manufacturer instruction for site storage, installation, Reinforcement and bracing. Use wind clips on each truss and wall connection.

FIELD VERIFY EXACT ROOF PITCH AND SITE CONDITIONS PRIOR TO ORDERING TRUSSES

General Specification:

Foundation: The foundation shall be 24" concrete filled sonotubes with 4 # 5 rebar in stirrups a minimum of 3" concrete cover. The floor shall be a 6" 5000 psi reinforced concrete floor with 6x6 x 2.9 x 2.9 WWF set at mid span. Use a minimum of 12" compacted stone under slab with a poly VP. Use a high-grade concrete sealer on finished concrete per manufacturer's directions

Framing: Shall be 8 x 8 pressure treated posts with 2x6 wall girders spaced at 2'-0" oc maximum. The siding shall be prefabricated metal system the roof beam between support posts shall be 3-24" LVL fully glued and nailed supported by Simson strong tie column bases as noted on the drawings. The Beam analysis is on Sheet A-5. Soffit and fascial details to be 1/2" composite material, with vented soffit.

Roofing: The roof shall be framed with engineered trusses with a 50 psf live load and 15 psf dead load for a total of 75 psf total load. Use wind clips (hurricane anchors) on each truss. The roof shall have 2x4 girts with a prefabricated metal roofing system.

Office Area: The walls separating the office area and shop area shall be 2x6 with a double layer of 5/8" type x fire code GSB taped and finished. The doors leading to the shops from the office area shall be 1-1/2-hour fire rated doors with rated hardware and closers. The floor above the office area to the storage room shall be 2x12's spaced at 16" oc with 3/4" t & g avante subflooring glued and screwed the full length of the joists. The ceiling below shall be 5/8" type x fire code GWB taped, finished and painted. Doors, hardware, and windows shall be per agreement with owner-contractor.

Windows and Doors: final choice will be a contract between builder and owner sizes shown on drawings.

DATE: 12/14/2021		COMPANY: Architect	
VITRUVIUS BUILD: Base		DESIGNED BY: patrick leamy	
CUSTOMER: --		REVIEWED BY: patrick leamy	
PROJ. ADDRESS: --		PROJECT NAME: New Project	
LEVEL: NOT YET ASSIGNED		LOADING: ASD	
MEMBER NAME: New Roof Beam 2		CODE: 2018 International Building Code	
MEMBER TYPE: ROOF BEAM		NDS: 2018 NDS	
MATERIAL: Structural Composite Lumber			
Boise Cascade 2E 3100 Versa-Lam LVL East (3) 1.75 X 24 DRY			



Start (ft):	End (ft):	Member Slope:	Actual Length (ft):	Roof Pitch:	BSW	Lams	Cfn	Kcr
0	10	0/12	10	4/12	32.26	3	9	1

Base Values	Ft (psi)	Fv (psi)	Fc (psi)	Fc L (psi)	E (psi) x10 ³	Emin (psi) x10 ³
3100	285	285	3000	750	2100	1036.825
Adjusted Values	3100	285	3000	750	2100	1037

Span	Length (ft)	Top	Bottom	Elev. Diff (ft)	CL(Top)	CL(Bottom)	CL(Left)	CL(Right)
1	10	0	10	0	1.00	0.21	1.00	1.00

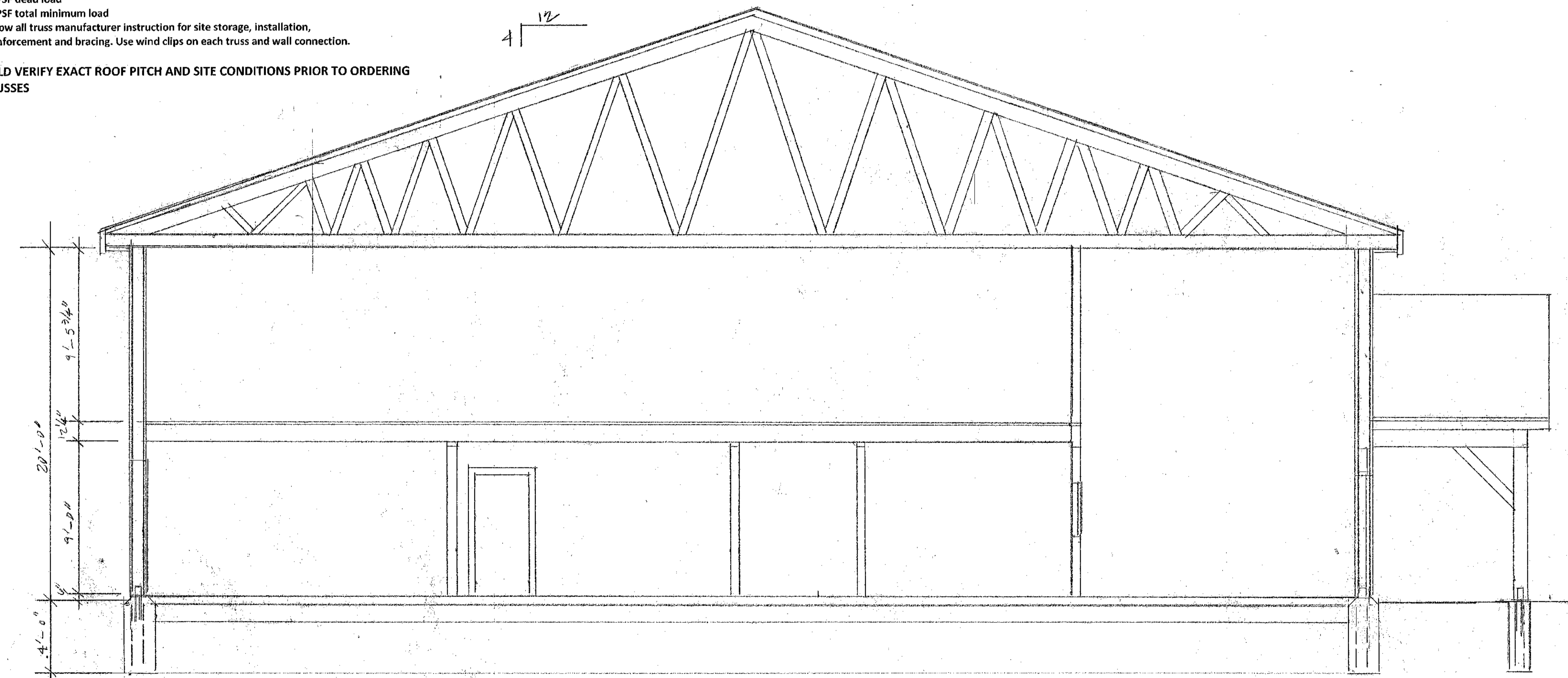
PASS/FAIL	PASS/FAIL	MAGNITUDE	STRENGTH	LOCATION (ft)	LOAD COMBO	DURATION FACTOR C
Shear Stress Y (psi)	PASS (62.8%)	132.4	356.3	0	D+Lr	1.25
Bending Stress Y (psi)	PASS (81.7%)	655.5	3587.8	5	D+Lr	1.25
Deflection (in)	PASS (93.0%)	0.032 (-L/3750)	0.500 (-L/240)	5	Lr	1.25
Bearing Stress (psi)	PASS (19.3%)	605.3	750.0	0	D+Lr	1.25

REACTIONS	Units for V: lb	Units for M: lb-ft	WIND +	WIND -	SEISMIC +	SEISMIC -	ICE	RAIN	EARTH
Y-axis DEAD	0	9158	0	0	0	0	0	0	0
A	1566	0	0	0	0	0	0	0	0
B	1642	0	0	0	0	0	0	0	0

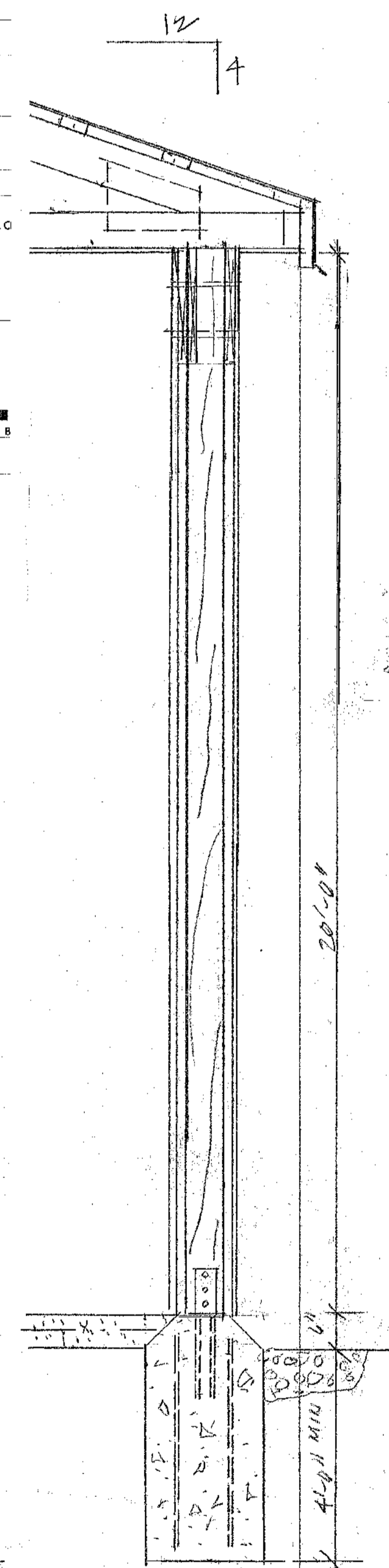
LOAD LIST	Type	Left Magnitude	Right Magnitude	Load Start (ft)	Load End (ft)	Load Type	Direction
Uniform (lb/ft)	50	50	0	9	9	Roof Live	Y
Uniform (lb/ft)	1800	1800	0	9	9	Roof Live	Y
Uniform (lb/ft)	360	360	0	9	9	Dead	Y
Self Weight (lb/ft)	36.75	36.75	0	10	10	Dead	Y

SYMBOL LEGEND

- Ⓢ Hard wired smoke detector
- Ⓢ Combination Smoke-Carbon Monoxide detector UL 2075
- Ⓢ Carbon Monoxide Detector
- Ⓢ Heat detector
- Ⓢ Rest room exhaust fan
- Ⓢ Hard wired Exit sign
- Ⓢ Fire pull station
- Ⓢ Emergency lighting
- Ⓢ Strobe light
- Ⓢ Fire extinguisher
- Ⓢ Sprinkler head
- Ⓢ Duplex receptacle outlet
- Ⓢ Quadraplex receptacle outlet
- Ⓢ Data outlet



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

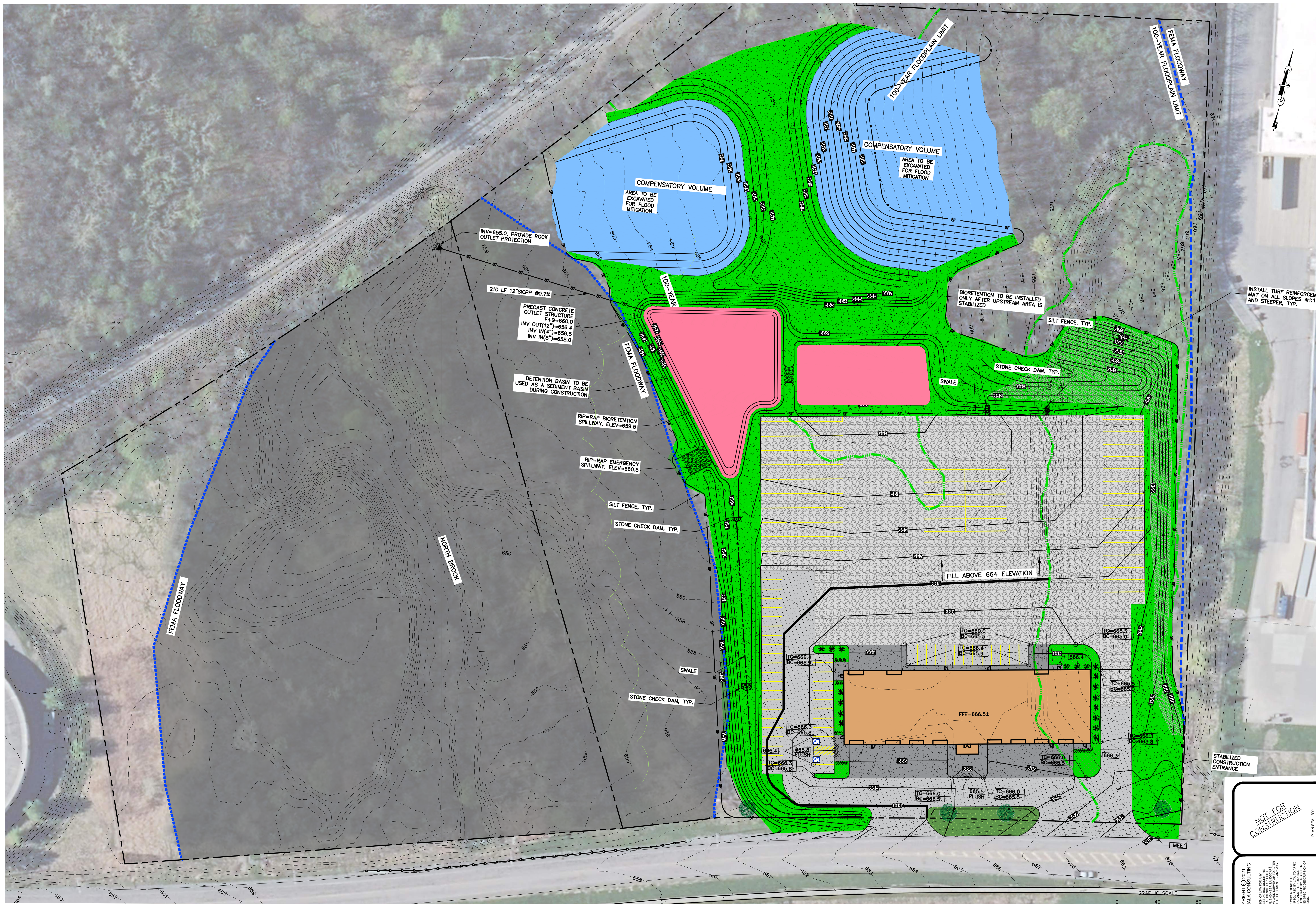


2 TYPICAL WALL SECTION
SCALE: 1/2" = 1'-0"

Patrick E Leamy
Architect
3204 Franklin Street Road
Auburn, New York 13021
(315) 299-2495 mobile
peleamy@yahoo.com

Project:
109-56-1-1111 & 109-55-1-1121
John Walsh Boulevard
City of Auburn Cayuga County
R/C DEVELOPMENT
P.O. Box 337
Auburn, New York

General notes and specifications
Section and Details



NOTE:
NFHL (NATIONAL FLOOD HAZARD LAYER) = 664.0 PER FEMA MAPPING

GRAPHIC SCALE
0 40' 80'
(IN FEET)
1 inch = 40 ft

NOT FOR CONSTRUCTION

PLAN SEAL BY:
NAPERALA CONSULTING, P.C.
NY REGISTRATION # 062733

C-4

PROJECT TITLE:
**109.56-1-1.111 & 109.55-1-1.121
JOHN WALSH BOULEVARD**
CITY OF AUBURN
CAYUGA COUNTY, NY

PREPARED FOR:
RJC DEVELOPMENT
P.O. BOX 337
AUBURN, NEW YORK

SHEET TITLE:
**GRADING AND
EROSION CONTROL PLAN**

NO.	REVISION/ISSUE	DATE

PREPARED BY:
NAPERALA CONSULTING
PROFESSIONAL ENGINEER, P.C.
SITE DESIGN • ENGINEERING
110 FAYETTE STREET
MANLIUS, NEW YORK 13104
email: MNA.P@NAPCON.COM
PH: (315) 682-5580 FAX: (315) 682-5544

PROJECT NO. 21-2036
DATE 14 DEC 2021
SCALE 1"=40'

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
RJC Development Inc				
Name of Action or Project: RYCOE Enterprises, Inc. and Apex Truck and Auto, Inc.				
Project Location (describe, and attach a location map): John Walsh Boulevard, City of Auburn				
Brief Description of Proposed Action: The proposed project includes a proposed 17,280 SF mixed commercial building on two undeveloped vacant lots (Tax parcel 109.56-1-1.111 & 109.55-1-1.121) on John Walsh Boulevard and is to be utilized by RYCOE Enterprise, Inc. and Apex Truck & Auto for a new home office. The project will include the construction of a new commercial building which will house both companies. The building will consist of overhead doors / drive thru access for large trucks and heavy equipment. There will be a wash down bay and service areas to store and maintain the vehicles and equipment. Site amenities will include two driveway entrances off John Walsh Boulevard (to allow large vehicle circulation) along with approximately 50 pedestrian vehicle parking spaces. A heavy duty compacted gravel yard will be behind the building capable of parking / storing 10 tractor - trailers, approximately 25 heavy equipment & dump truck parking spaces, and associated sidewalks. The site is within the FEMA 100 yr flood plain. The front area will be filled to get out of the floodplain with compensatory flood volume created to the north to compensate for the filling.				
Name of Applicant or Sponsor: Ryan Coe		Telephone: 315-730-9737 E-Mail: ryan@rycoe.com		
Address: P.O. Box 337				
City/PO: Auburn		State: NY	Zip Code: 13021	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: NYSDEC, City of Auburn Planning Board			NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		16.38 acres		
b. Total acreage to be physically disturbed?		5.6 acres		
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		16.38 acres		
4. Check all land uses that occur on, are adjoining or near the proposed action:				
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)				
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Vacant				
<input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input checked="" type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input checked="" type="checkbox"/>	YES <input checked="" type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: Stormwater runoff will be mitigated for both water quality and water quantity with bioretention and detention basins	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Ryan J. Coe</u> Date: <u>2/11/22</u> Signature:  Title: <u>President / Owner</u>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



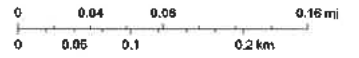
Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

Site of proposed RJC Development



January 28, 2022

1:4,514



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

NYS Department of Environmental Conservation
Not a legal document

National Flood Hazard Layer FIRMette



76°33'29"W 42°57'26"N



Feet 1:6,000
 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) Zone A, A-99
 - With BFE or Depth Zone AE, AD, AH, VE, AR
 - Regulatory Floodway

- OTHER AREAS OF FLOOD HAZARD**
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes, Zone X
 - Area with Flood Risk due to Levee Zone D

- OTHER AREAS**
- NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D

- GENERAL STRUCTURES**
- Channeled, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

- OTHER FEATURES**
- 20.2 Cross Sections with 1% Annual Chance
 - 47.8 Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

- MAP PANELS**
- Digital Data Available
 - No Digital Data Available
 - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 1/28/2022 at 11:38 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Site of proposed RJC Development



January 28, 2022

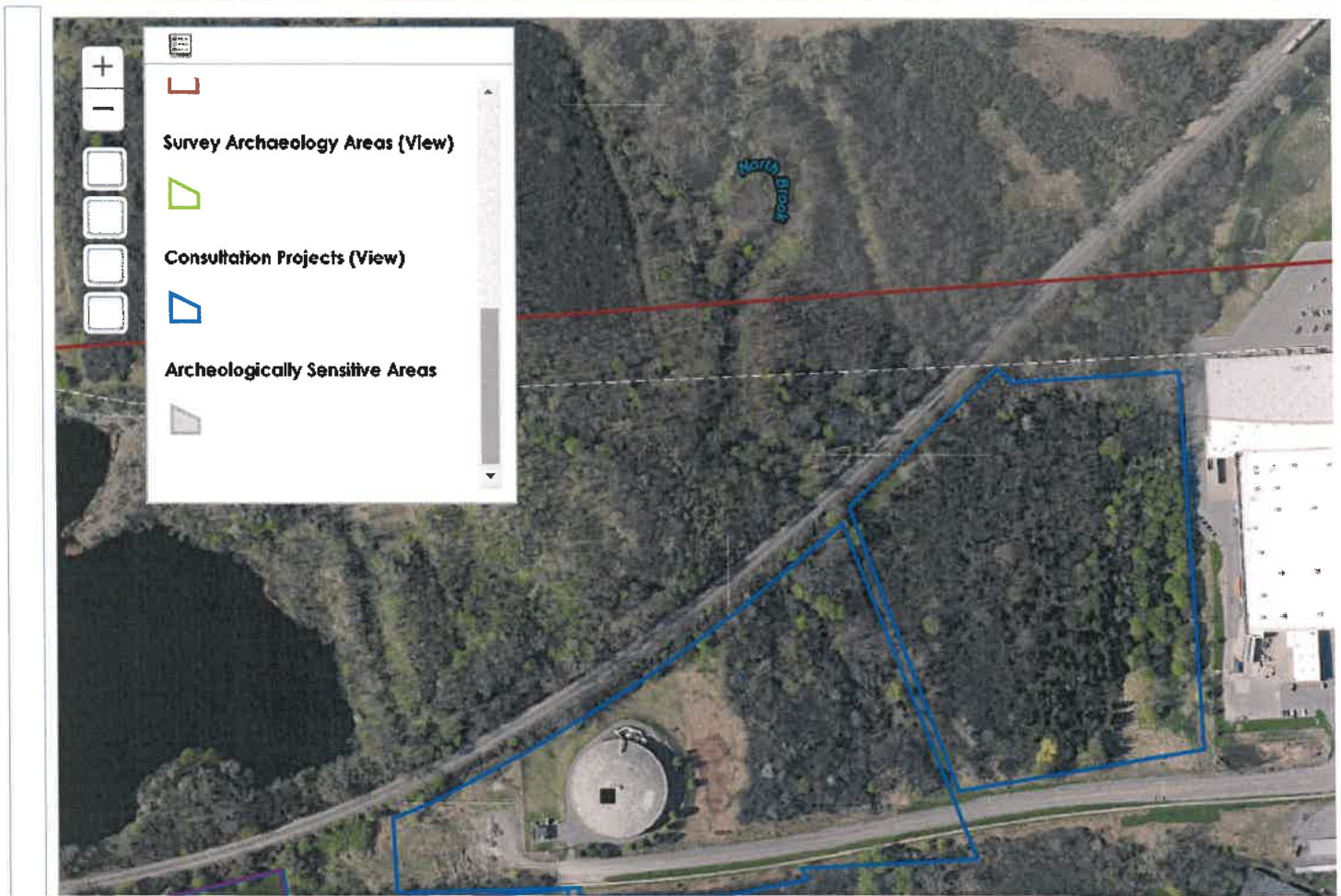
Wetlands

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.



HOME SUBMIT SEARCH COMMUNICATE



1938



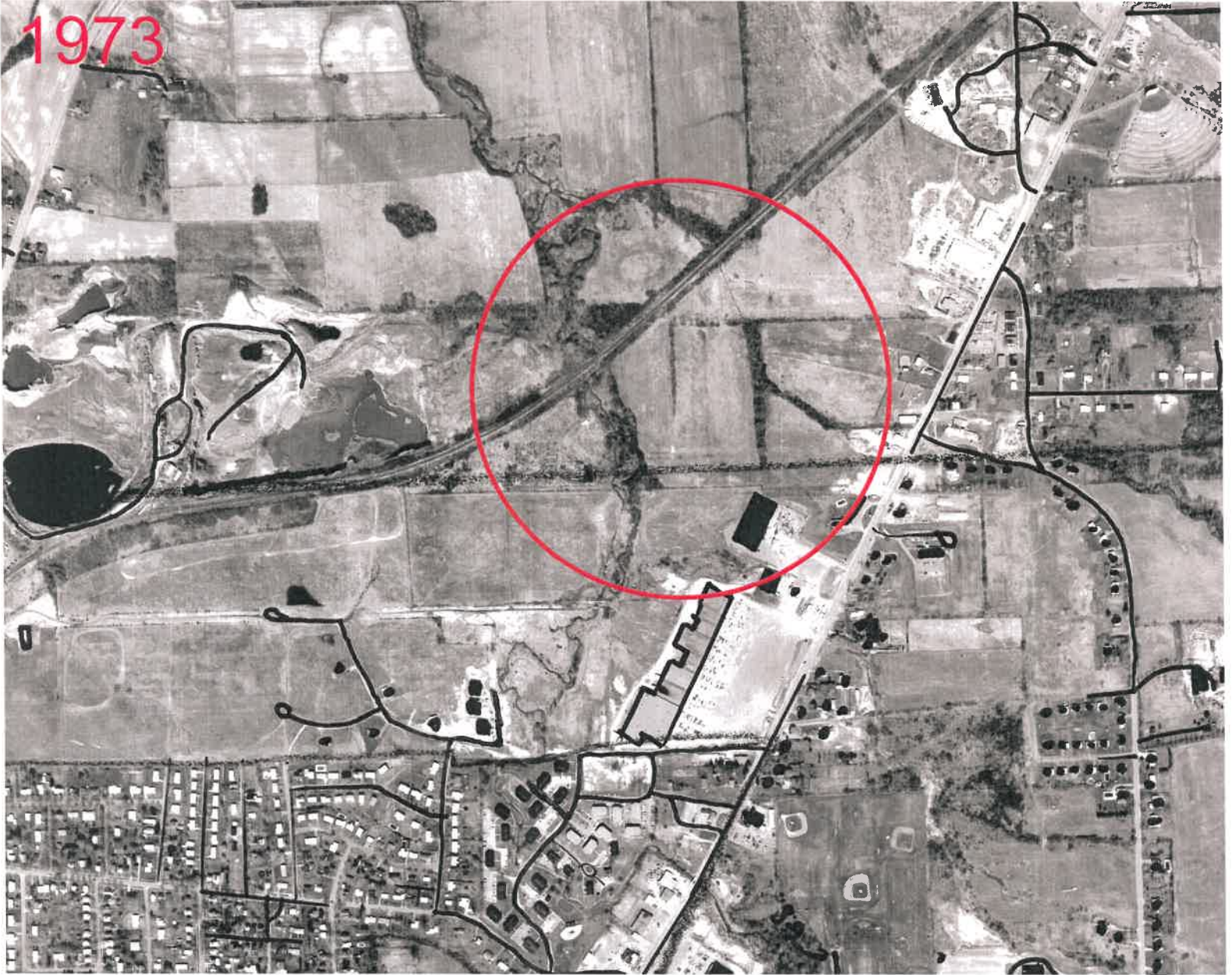
1954



1963



1973



1979



Project:

Date:

***Short Environmental Assessment Form
Part 2 - Impact Assessment***

Part 2 is to be completed by the Lead Agency.

Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept “Have my responses been reasonable considering the scale and context of the proposed action?”

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?		
2. Will the proposed action result in a change in the use or intensity of use of land?		
3. Will the proposed action impair the character or quality of the existing community?		
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?		
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?		
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?		
7. Will the proposed action impact existing:		
a. public / private water supplies?		
b. public / private wastewater treatment utilities?		
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?		
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?		
11. Will the proposed action create a hazard to environmental resources or human health?		

Project:

Date:

Short Environmental Assessment Form Part 3 Determination of Significance

For every question in Part 2 that was answered “moderate to large impact may occur”, or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.

Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.

Name of Lead Agency

Date

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (if different from Responsible Officer)